

DRY FLOOD PROOFING:

- 1.) WATERPROOF COATINGS AND IMPERVIOUS MEMBRANES
- 2.) BACKFLOW VALVE ON SEWER LATERAL
- 3.) WATERTIGHT SHIELDS FOR OPENINGS

SPRINKLER ROOM

DRY FLOOD PROOFING IN ACCORDANCE WITH F.E.M.A. REQUIREMENTS, CHAPTER 7

- (A) EXTERIOR WALLS ON PROPERTY LINE ALONG SIDES WALLS AND REAR WALL SHALL BE NEW REINFORCED 6" CONCRETE BLOCK WITH WATER PROOF COATING
- (B) INTERIOR DEMISING WALLS OF COMMERCIAL SPACE SHALL BE NEW REINFORCED 4" C.M.U. WITH WATER PROOF COATING. NO FILL SHALL BE USED TO ELEVATE THE NEW STRUCTURE

PROJECTED SANITARY SEWERAGE FLOW

| UNIT TYPE / QTY. | PEOPLE / UNIT | # OF PEOPLE | GPD / PERSON | FLOW CALCULATIONS |
|------------------------|---------------|-------------|--------------|---------------------|
| 4 - FOUR BEDROOM UNITS | 5 | 20 | 75 | 20 x 75 = 1,500 GPD |
| 4 TOTAL UNITS | | | | |
| TOTALS | | 20 | 75 | 20 x 75 = 1,500 GPD |

THE NORTH HUDSON SEWERAGE AUTHORITY PLANT HAS ADEQUATE DOWNSTREAM CARRYING CAPACITY. PRIOR TO PLAN REVIEW AT THE BUILDING DEPARTMENT, A FORMAL CP #1 APPLICATION SHALL BE FILED FOR APPROVAL OF THE INCREASED FLOW.

PROJECTED RECYCLING PLAN - 20 PEOPLE

| PROPOSED USE IS FOR 4 RESIDENTIAL UNITS | LBS / PERSON | # OF PEOPLE | TOTAL LBS. | QTY. / TYPE OF CONTAINER |
|---|--------------|-------------|------------|--------------------------|
| GLASS | 1.75 LBS. | 20 | 35 LBS. | (1) 64 GAL. CONTAINERS |
| ALUMINUM | 0.1 LBS. | 20 | 2 LBS. | (1) 33 GAL. CONTAINERS |
| TIN | 1.5 LBS. | 20 | 30 LBS. | (1) 33 GAL. CONTAINERS |
| CARDBOARD & PAPER | 2.5 LBS. | 20 | 50 LBS. | (1) 64 GAL. CONTAINERS |

BUILDING FIRE SUPPRESSION SYSTEM: - S-903.3.1.1
- BUILDING TO BE FULLY SUPPRESSED. SPRINKLER CONTRACTOR TO PROVIDE A COMPLETE SET OF SHOP DRAWINGS FOR CODE OFFICIAL & ARCHITECT REVIEW. PROVIDE STANDPIPE LOCATIONS AND HYDOLIC CALCULATIONS WITH CURRENT WATER FLOW TEST.

SEE SPRINKLER CO. SHOP DRAWINGS FOR WATER FLOW DEVICES.

DOOR SCHEDULE

| NUMBER | CLEAR OPENING WIDTH | CLEAR OPENING HEIGHT | STYLE | TYPE | NOTES |
|--------|---------------------|----------------------|-------|---------|------------------------------|
| 1 | 24" | 96" | A | SWING | |
| 2 | 28" | 96" | B | SWING | LOUVERED |
| 3 | 30" | 96" | C | BIFOLD | |
| 4 | 32" | 96" | D | BIFOLD | LOUVERED |
| 5 | 34" | 96" | E | SLIDING | |
| 6 | 36" | 96" | F | SWING | 30 MIN B LABEL W/SELF CLOSER |
| 7 | 36" | 96" | G | SWING | 45 MIN C LABEL W/SELF CLOSER |
| 8 | (2) 24" | 96" | H | SWING | |
| 9 | (2) 30" | 96" | I | POCKET | |
| 10 | (2) 36" | 96" | J | SLIDING | LOUVERED |

SMART VENT
Insulated Series

This series of vents is ideal for areas requiring flood venting protection but no return air ventilation.

The flood door contains a 2" Styrofoam core that has an R-value of 6.04 and the vent frame is lined with felt weather stripping, helping to keep the enclosure as insulated from the elements as possible.

IDEAL FOR:

- Garages
- Full height enclosures (e.g. walkouts)
- Conditioned crawlspaces
- Storage facilities
- Metal buildings
- Foyers

1 Flood Vent
1540-521

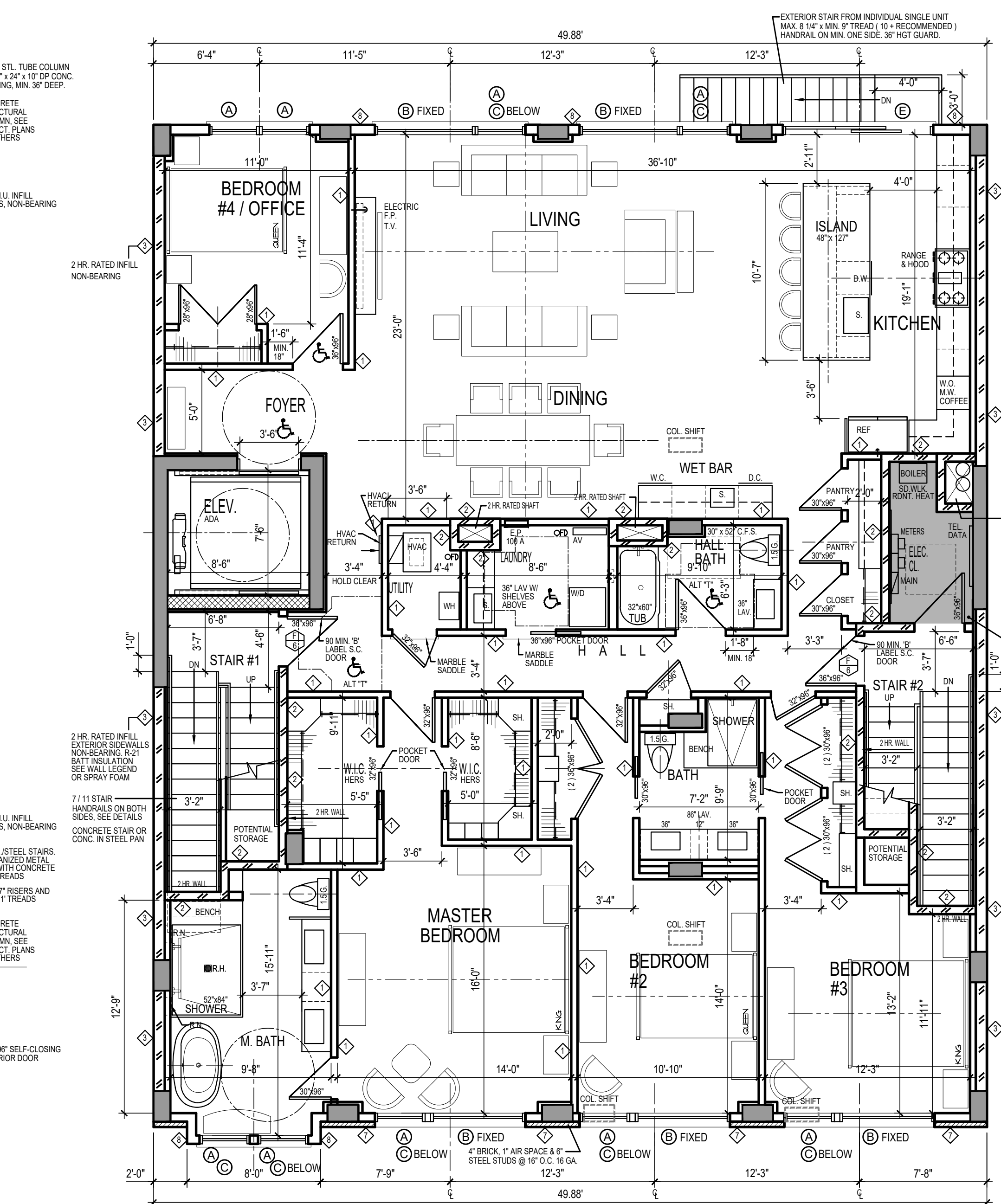
2 Stacker
1540-570

3 Wood Wall
1540-570

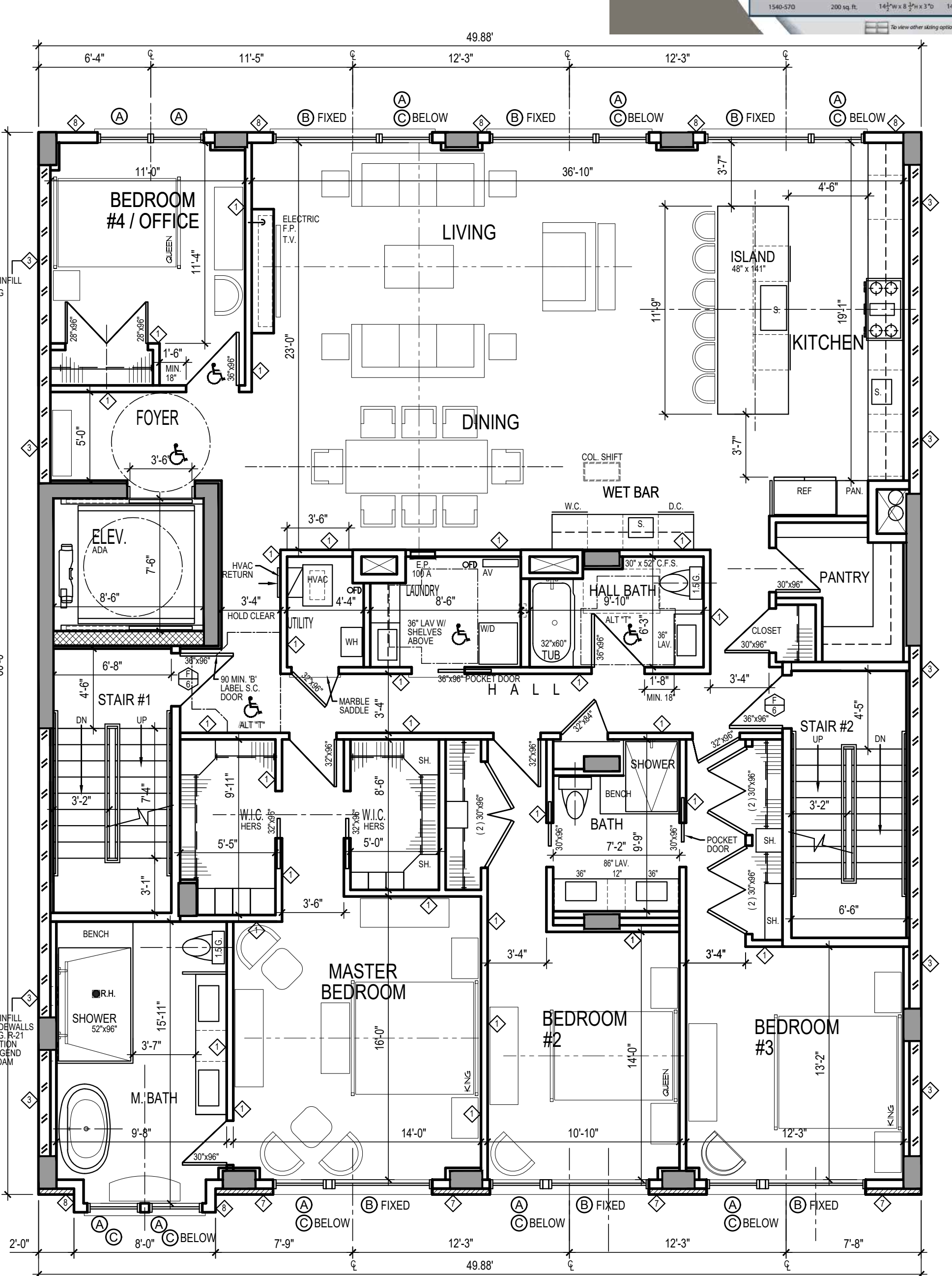
Wood Wall Models are designed to fit between studs spaced at 16" on center. Pre-drilled slots in the four corners on the vent flange make for an easy installation.

For more information on Flood Protection Solutions, contact:
Smart Vent - 400 Atlantic Street, Unit 11 - Hoboken, NJ 07030
Phone: (201) 426-7515 Fax: (201) 426-7513 Email: info@smartvent.com

| MODEL NUMBER | FLOOD OVERAGE | VENT SIZE | ROUGH OPENING |
|--------------|---------------|------------------------|------------------------|
| 1540-521 | 200% to 300% | 18" x 24" to 30" x 36" | 12" x 12" to 24" x 24" |
| 1540-570 | 400% to 500% | 18" x 24" to 30" x 36" | 12" x 12" to 24" x 24" |
| 1540-570 | 200% to 300% | 18" x 24" to 30" x 36" | 12" x 12" to 24" x 24" |



UNIT #1
2,605 S.F.



UNIT #2 & #3
2,679 S.F.

516-518 Jefferson Street
HOBOKEN, N.J.

JAMES S. MCNEIGHT
ARCHITECT PLANNER PC
169 SCHUYLER AVENUE
KEARNY, NEW JERSEY 07032
(201) 246-7515 (FAX) 246-7513
N.J. LICENSE NO. 08626

PROJECT:
PROPOSED 4 UNIT, 5 STORY
RESIDENTIAL APARTMENT BLDG.
WITH GROUND FLOOR PARKING

JOB NO. DATE: 4.15.23
DRWN. BY:

sheet 2 of 13

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WINDOW / SKYLIGHT NOTES

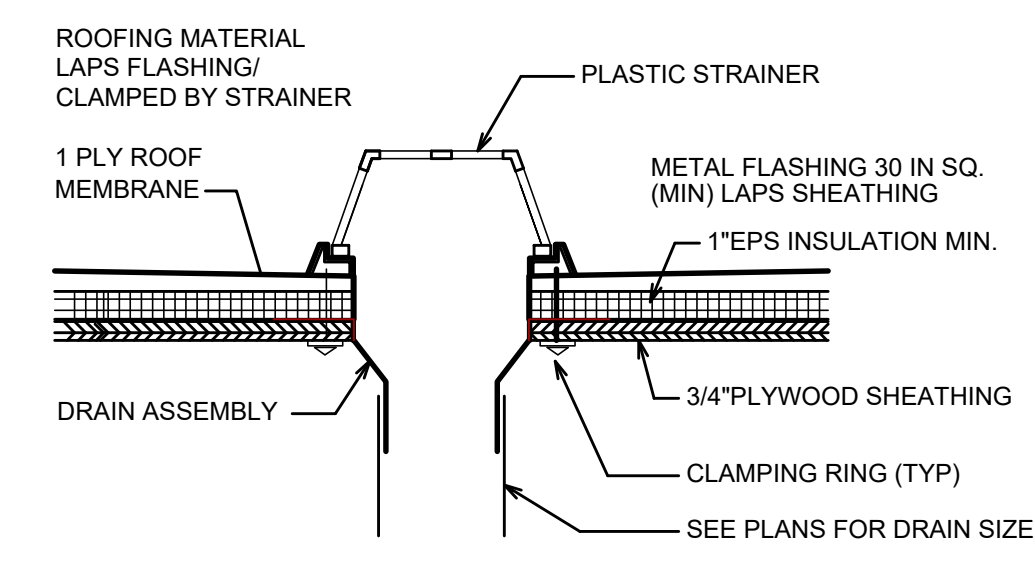
1. ALL WINDOWS & DOORS ARE AS SELECTED BY OWNER. FINISH (COLOR) & HARDWARE AS SELECTED BY OWNER.
 2. PROVIDE INSECT SCREENS.
 3. ALL WINDOWS TO BE INSULATED GLASS.
 4. PROVIDE GRILLES AS PER OWNER AND / OR AS PER ELEVATIONS.
- * INDICATES WINDOW UNIT SHALL HAVE TEMPERED SAFETY GLASS FRAMES. SEE PLAN FOR INDICATED WINDOW UNITS.
- HARDWARE NOTES**
1. PROVIDE HARDWARE FOR ALL INTERIOR DOORS AS SELECTED BY OWNER.

VERIFY WINDOWS & DOORS

CONTRACTOR/OWNER/VENDOR SHALL COORDINATE AND VERIFY WINDOW SCHEDULE W/ PLAN AND ELEVATION. UNIT & ROUGH OPENING WIDTH AND HEIGHT, WINDOW TYPE, MODEL #, ACCESSORIES, COLOR, ETC. PRIOR TO PLACING ORDER.

EGRESS WINDOWS

ALL EGRESS WINDOW UNITS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 S.F. THE CLEAR OPENING SHALL BE A MIN. 24" WIDE & 20" HGT. THE MAX. SILL HGT. SHALL BE 44"



ROOF DRAIN DETAIL

NOT TO SCALE

Roof Drainage Calculation

RAINFALL INTENSITY FACTOR: 6

INTENSITY IN IN./HR. LASTING 5 MIN. 6

SQ. FT. ROOF/ SQ. IN. DOWN-SPOUT 200

ROOF AREA = 2,992.8 S.F.

2,992.8 S.F. ROOF = 14,964" SQ. IN. REQ'D.

200

(4) 3" DOWNSPOUT (7.07" EA.) = 28.28 SQ. IN.

TOTAL SQ. IN. PROVIDED = 28.28 SQ. IN.

eNoise Control

297 North 9th Street, Hoboken, NJ 07030
100 Free Phone: 888.232.4711 Fax: 201.774.1911

Model UNC-XT-1 Outdoor Sound

UNC-XT-1 Exterior Noise Barrier/Sound Absorber Composite

UNC-XT-1 offers the benefits of both a noise barrier and a sound absorber composite in one product. This UNC product consists of an exterior grade, UV resistant heavy-duty faced quilted fiberglass absorber bonded to a one-pound per sq. ft. reinforced loaded vinyl barrier. The heavy duty facing is a 10 oz. per sq. yd. vinyl coated polyester (VCP) quilted to the sound absorber rather than the standard 4 oz. facing. Individual sound panels can be provided. Standard width is 54" wide and each panel can be supplied with a combination of grommets (and exterior grade velcro) for attachment to your outdoor support.

- STC 29 Rating, NRC .65
- Available facing colors on quilt: gray, tan, black
- Available barrier colors: gray, tan, olive drab or blue

Applications:
Typically used as to reduce noise from construction sites where the product may be subjected to sunlight, rain, snow and winds. May be attached to steel structure, chain link type fences, or installed over wood fencing, on brick or masonry walls of buildings adjacent to a job site, or a noisy piece of machinery.

Product Data:
Description: Vinyl coated polyester facing on 1" quilted fiberglass/
1-lb-pcf reinforced loaded vinyl barrier
Nominal thickness: 1.00"
Temperature range: -20° to +180° F
Standard width: 54"
Weight: 1.2 lb-sf

Acoustical Performance:

Sound Transmission Loss

| Product | OCTAVE BAND FREQUENCIES (Hz) | | | | | | STC |
|----------|------------------------------|-----|-----|------|------|------|-----|
| | 125 | 250 | 500 | 1000 | 2000 | 4000 | |
| UNC-XT-1 | 15 | 17 | 28 | 40 | 45 | 52 | 29 |

ASTM E-90 & E-413

Sound Absorption Performance

| Product | OCTAVE BAND FREQUENCIES (Hz) | | | | | | NRC |
|----------|------------------------------|-----|-----|------|------|------|-----|
| | 125 | 250 | 500 | 1000 | 2000 | 4000 | |
| UNC-XT-1 | .18 | .68 | .74 | .72 | .42 | .29 | .65 |

ASTM C 423

www.eNoiseControl.com

LiveRoof LITE SYSTEM
Over Conventional Roofing Assembly

NOT TO SCALE

LiveRoof LITE System Saturated Weight: 15-17 lb / sf

LiveRoof LITE System is designed to be installed over a waterproofing membrane. It is not intended for use as a waterproofing membrane. A qualified professional should be consulted to determine appropriate waterproofing and roof deck methods and material choices.

LiveRoof, LLC
P.O. Box 413
3000 Lane Rd. #408
Hoboken, NJ 07030
800.475.1192
www.liveroof.com

GREEN ROOF MAINTENANCE SCHEDULE

Ongoing Maintenance Activities

After the initial establishment period outlined in the previous section, the roof will become more mature and resilient due to a strong root system and vegetation that is acclimated to the local climate. Therefore, maintenance activities will become more focused on upkeep and observation, especially during the active spring and summer growing seasons. VISITS MIGHT OCCUR MONTHLY, AND ALSO FOLLOWING MAJOR WEATHER EVENTS (HEAVY RAINFALL OR HIGH WINDS) WHEN IT IS NECESSARY TO DOUBLE CHECK THAT DRAINS HAVE NOT BECOME OBSTRUCTED. The following activities should be part of an ongoing maintenance regimen:

Inspect Vegetation-Free Zones

Vegetation-free zones (VfZs) are typically found at green roof perimeters and around roof penetrations to prevent vegetation from encroaching on or sensitive points. They may be delineated with metal edging and filled with aggregate. All VfZs, including roof drains should be inspected at least every two weeks. Erant green roof vegetation and any debris (pebbles, sticks, leaves, trash, etc.) should be removed from the drainage system and drain pipes in order for the roof drains to function properly. Impaired drainage is a very serious condition; not only can it lead to damaged or dead plants, but it can cause serious damage to the roofing system, add structural loads beyond the building's design limits, and may ultimately lead to structural failure.

Remove Debris

Remove trash, pebbles, sticks, fallen leaves etc. from the green roof on a regular basis, as they can smother the green roof plants.

Control Weeds

Take care to address any weeding issues during the first few months of establishment, and during the first year of growth to coverage. During your monthly inspections, be sure to check for weeds and remove any that you find. REMOVING WEEDS SHOULD BE DONE IN A CAREFUL MANNER. VERY IMPORTANT TO PREVENT THEIR ROOTS FROM PENETRATING THE WATERPROOFING SYSTEM. Once the green roof grows into a dense cover, weed germination will become less significant. Occasionally, perennial weeds like clover can become problems if not removed quickly. In those circumstances, a careful, spot-spray of a glyphosate herbicide may be used. Care should always be taken to prevent weeds from setting seed.

Deadhead

Most sedum species flower in the spring or summer. Spent flower stalks may remain throughout the fall and winter. While they pose no danger, they may not be aesthetically desirable. You may choose to "deadhead" - firm off spent flowers by hand or with scissors or pruners - as necessary.

Check Irrigation/Moisture Levels

GENERALLY SPEAKING, IT IS BETTER TO USE THE MINIMUM AMOUNT OF IRRIGATION NECESSARY, AS DRY SOIL ENCOURAGES TOUGHER GREEN ROOF PLANTS THAT RESIST EXTREMES.

The irrigation system, whether drip or overhead spray, should be visually inspected at each visit to ensure that it is functioning properly. Check all valve locations and joints to look for signs of leaks or breaks in the piping. Visually inspect spray heads and drip emitters to ensure they have not become clogged. Check moisture levels on the roof and adjust run times on the controller if using an automatic system. Special care will be required to winterize and reactivate the system (see below).

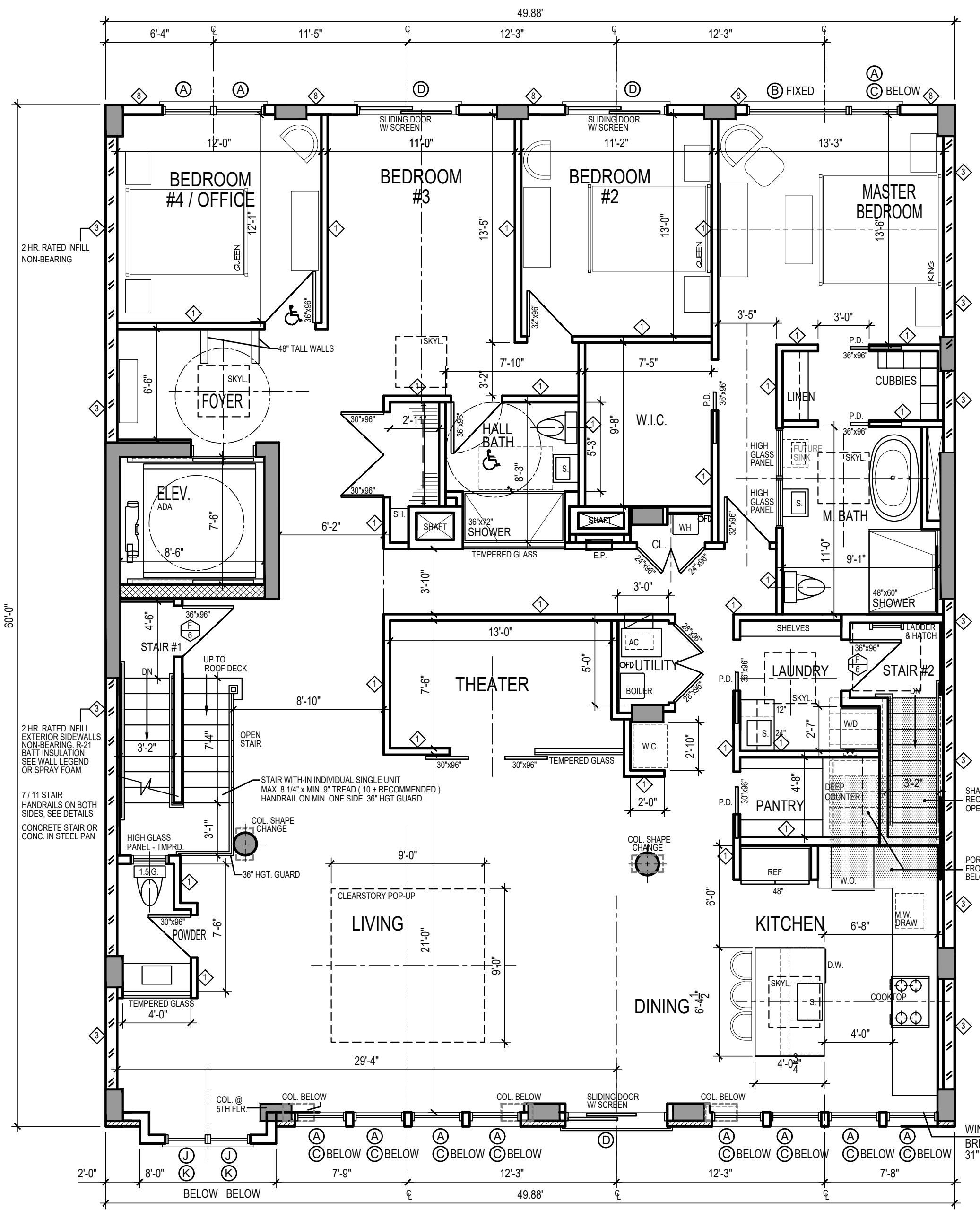
If hand-watering, focus most of your irrigation efforts during the summer, and periods of prolonged hot dry weather. Supplemental water may not be needed during periods of rain or milder temperatures. Hotter or drier climates may require more ongoing attention. Be prepared to irrigate during periods of extreme heat as described below.

PROLONGED HOT DRY WEATHER is generally defined as periods of 75 degree weather, with less than 1 inch of rainfall per month. This "baldpate" time period will likely be less if the temperatures are hotter, or on sloping roofs and roofs exposed to persistent winds or reflected sunlight. Such conditions can dry out the soil and cause the plants to go dormant, or in extreme cases, to dry up and die.

If the plants are wilting, it is time to irrigate.

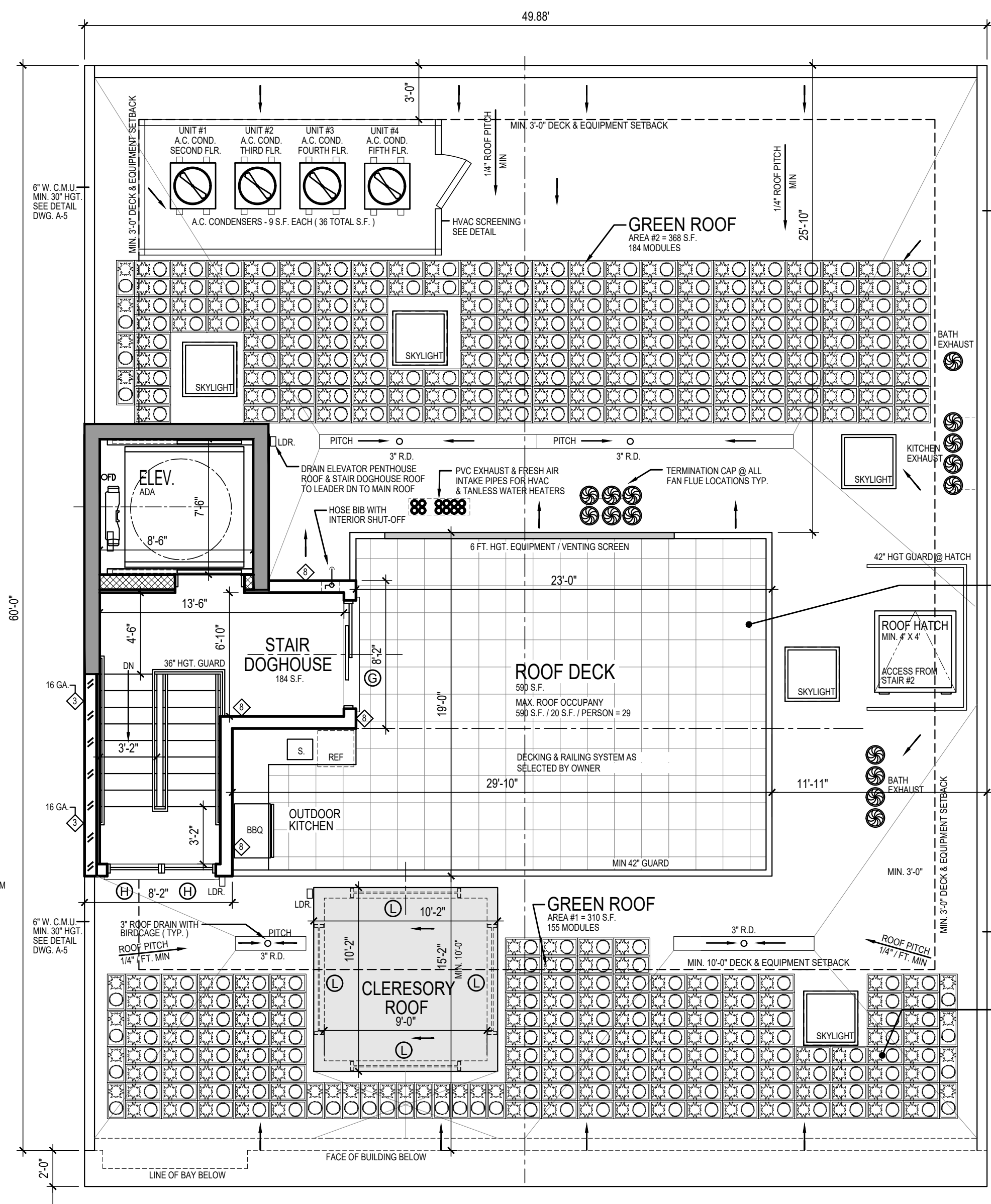
During prolonged hot dry weather or when plants become drought stressed, supplemental water should be applied, temporarily, to re-wet the soil to the point of saturation. This will keep plants from going dormant. Keep them plump and healthy so they can cover the soil effectively, and stabilize their appearance. It also enhances the evaporative cooling effect of the green roof.

Thoroughly irrigating, as indicated above, will pay off significantly. Not only will the plants be healthier and fuller, bringing reduced maintenance costs, but the actual cost of irrigation is minimal compare to the energy savings derived from enhancing the evaporative cooling of the green roof.



FIFTH FLOOR PLAN
SCALE: 3/16"=1'-0"

UNIT #4
2,741 S.F. + 277 S.F. D.H. = 3,018 S.F.



ROOF PLAN
SCALE: 3/16"=1'-0"

ROOF DECK EXCLUSIVELY FOR UNIT #4

COOL ROOF
Cool roof. All projects with roof surface area of 1,000 square feet or more shall utilize a material that has a solar reflectivity of 40% or greater as certified by the Cool Roof Rating Council®

MAX. ROOF COVERAGE = 30%
2,992.8 S.F. ROOF x 30% = 897.84 S.F.
ELEV. PENTHOUSE - 87 S.F.
STAIR DOGHOUSE - 184 S.F.
ROOF DECK - 580 S.F.
A.C. CONDENSERS - 98 S.F.
TOTAL COVERAGE = 867 S.F.

GREEN ROOF LIVEROOF LITE SYSTEM BUILDING OWNERS SHALL BE REQUIRED TO MAINTAIN GREEN ROOF IN PERPETUITY.
AREA #1 = 310 S.F.
AREA #2 = 388 S.F.
TOTAL = 678 S.F.
MODULES: 24" X 12" 339 MODULES

516-518 Jefferson Street
HOBOKEN, N.J.

JAMES S. MCNEIGHT ARCHITECT PLANNER PC
169 SCHUYLER AVENUE
KEARNY, NEW JERSEY 07032
(201) 246-7515 (FAX) 246-7513
N.J. LICENSE NO. 08626

PROJECT: PROPOSED 4 UNIT, 5 STORY RESIDENTIAL APARTMENT BLDG. WITH GROUND FLOOR PARKING

JOB NO. DATE: 4.15.23 DRWN. BY:

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CONTRACTOR/OWNER/VENDOR SHALL COORDINATE AND VERIFY WINDOW SCHEDULE W/ PLAN AND ELEVATION

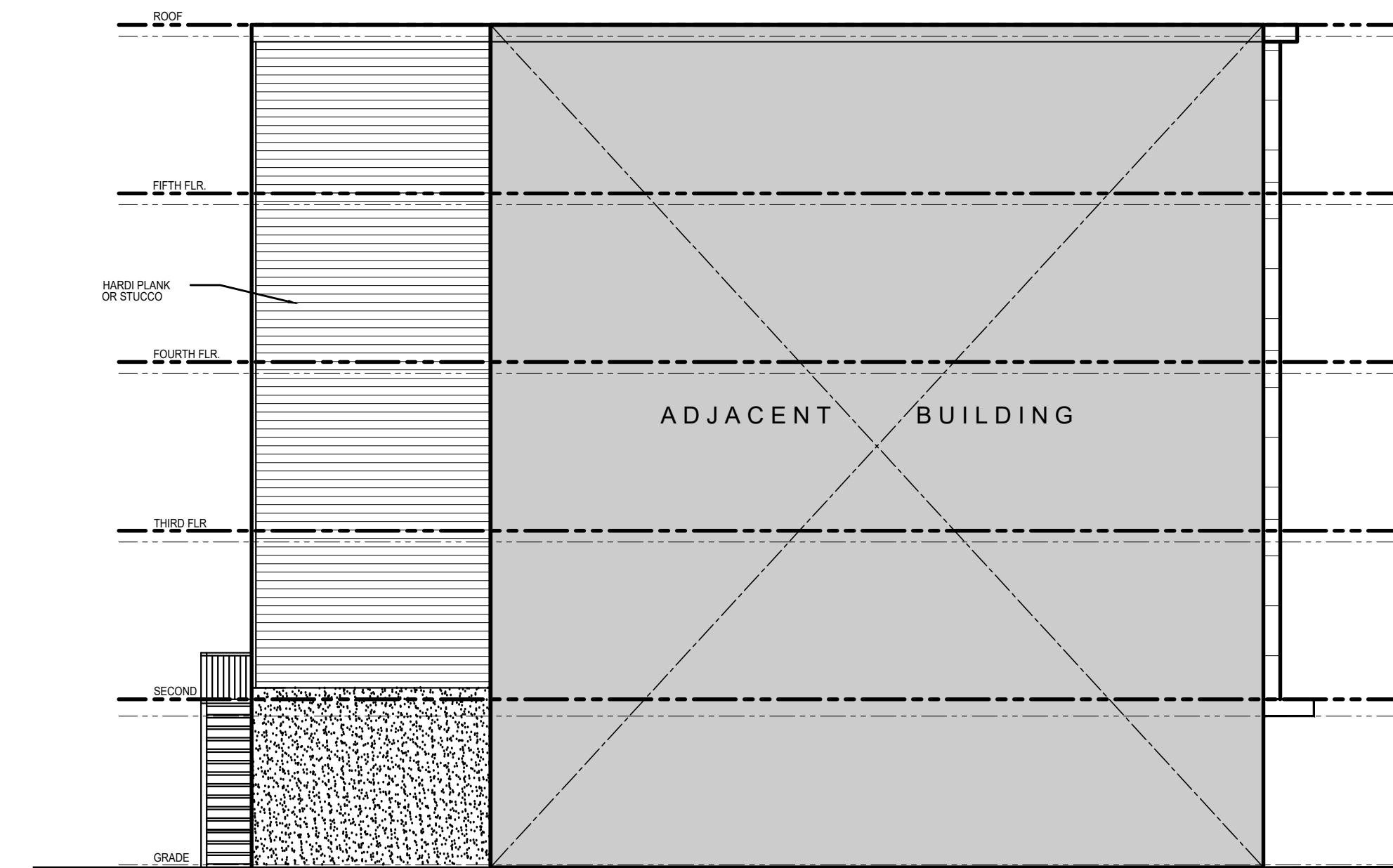
| WINDOW SCHEDULE | | SIZE (WIDTH x HEIGHT) | SIZE (WIDTH x HEIGHT) | | | |
|-----------------|--|----------------------------------|-----------------------|---------------------------------------|-----------------|------------------|
| TAG | | UNIT FRAME DIMENSIONS | ROUGH FRAME OPENING | MASONRY OPENING | NOTES | CATALOGUE # QTY. |
| A/C-1L | CASEMENT WINDOW, LEFT SWING OVER FIXED UNIT | 35" x 71" OVER 35" x 23" | 35 3/4" x 94 3/4" | | | 18 |
| J/K-1L | CASEMENT WINDOW, LEFT SWING OVER FIXED UNIT | 28" x 71" OVER 28" x 23" | 28 3/4" x 94 3/4" | | | 1 |
| J/K-1R | CASEMENT WINDOW, RIGHT SWING OVER FIXED UNIT | 28" x 71" OVER 28" x 23" | 28 3/4" x 94 3/4" | | | 1 |
| A/C-1R | CASEMENT WINDOW, RIGHT SWING OVER FIXED UNIT | 35" x 71" OVER 35" x 23" | 35 3/4" x 94 3/4" | | | 8 |
| A/A | DOUBLE CASEMENT WINDOW | (2) 35" x 71" | 70 3/4" x 71 3/4" | | | 4 |
| AA/CC | (2) CASEMENT WINDOWS OVER (2) FIXED UNITS | (2) 35" x 71" OVER (2) 35" x 23" | 70 3/4" x 94 3/4" | | | 3 |
| B | FIXED PICTURE WINDOW | 68" x 94" | 68 3/4" x 94 3/4" | | | 18 |
| D | DOUBLE SLIDING DOOR | 71 1/4" x 95 1/2" | 72" x 96" | | | 3 |
| E | TRIPLE SLIDING DOOR | 108 1/16" x 95 1/2" | 108 3/4" x 96" | | | 1 |
| F | FIXED PICTURE WINDOW | 35" x 47" | 35 3/4" x 47 3/4" | 38 3/4" x 50 3/4" (P.T. 2" x 8" FRM.) | MASONRY OPENING | 3 |
| G | DOUBLE SLIDING DOOR | 71 1/4" x 79 1/2" | 72" x 80" | | AT DOG HOUSE | 1 |
| H | DOUBLE AWNING, SIDE BY SIDE | (2) 35" x 35" | 35 3/4" x 35 3/4" | | AT DOG HOUSE | 1 |
| L | LONG FIXED WINDOW | 73" x 17" | 73 3/4" x 17 3/4" | | AT CLERESTORY | 4 |
| | | | | | | 66 |

| INDIVIDUAL WINDOW UNIT SIZES - FOR REFERENCE ONLY | | | | | |
|---|----------------------|---------------------|---|---------------------|-------------------|
| A | CASEMENT WINDOW | 35" x 71" | G | DOUBLE SLIDING DOOR | 71 1/4" x 79 1/2" |
| B | FIXED PICTURE WINDOW | 68" x 94" | H | AWNING WINDOW | 35" x 35" |
| C | FIXED WINDOW | 35" x 23" | J | CASEMENT WINDOW | 28" x 71" |
| D | DOUBLE SLIDING DOOR | 71 1/4" x 95 1/2" | K | FIXED WINDOW | 28" x 23" |
| E | TRIPLE SLIDING DOOR | 108 1/16" x 95 1/2" | L | LONG FIXED WINDOW | 73" x 17" |
| F | FIXED PICTURE WINDOW | 35" x 47" | | | |



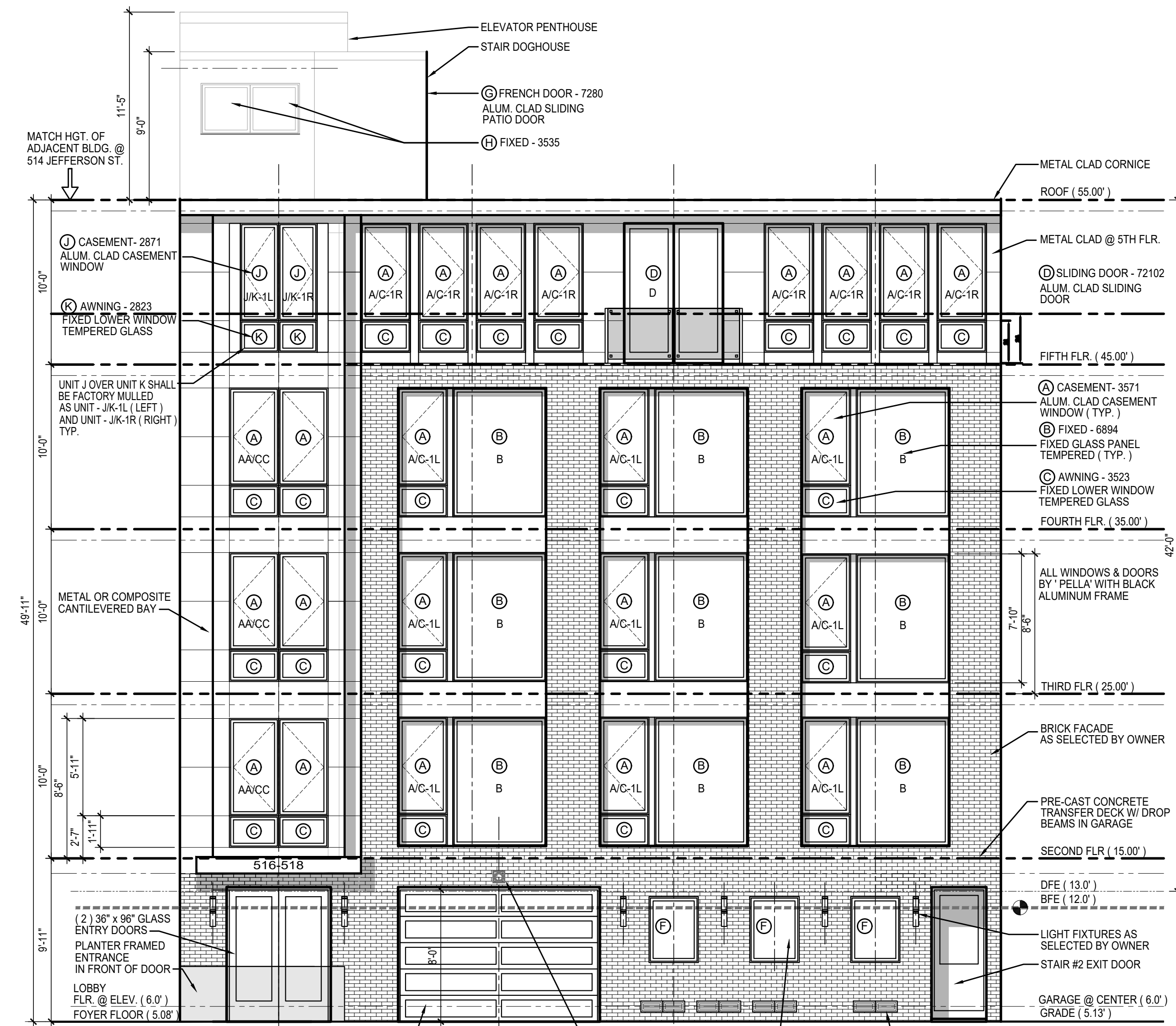
SIDE ELEVATION - NORTH

SCALE: 1/8"=1'-0"



SIDE ELEVATION - SOUTH

SCALE: 1/8"=1'-0"



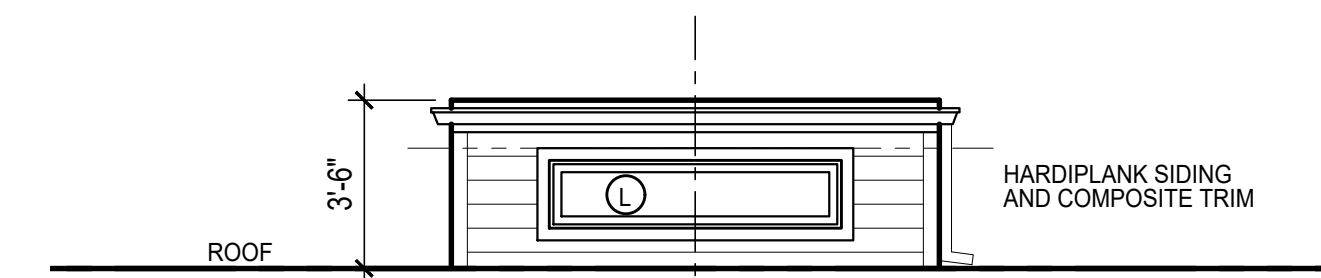
FRONT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"



CLERESTORY ELEVATION

SCALE: 1/4"=1'-0"

TYPICAL FOR 4 SIDES

516-518 Jefferson Street

HOBOKEN, N.J.

A-4

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| REVISION |
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